

Douglas County Social Services

Ext. Improvements

BID ISSUE

12.20.2022

PROJECT ADDRESS:
2300 MEADOW LANE
GARDNERVILLE, NV 89410



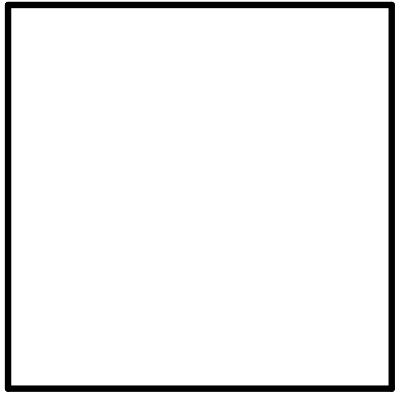
CLIENT:
DOUGLAS COUNTY

PWP #:PWP-DO-2023-135

DESIGN TEAM
TSK ARCHITECTS
 225 S. ARLINGTON SUITE A, RENO, NV
 89501



225 South Arlington Avenue
 Reno NV, 89501
 phone: 775.857.2949
 fax: 775.857.2403
 www.tska.com



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TATE SNYDER KIMSEY ARCHITECTS AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECTS WRITTEN CONSENT. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SEALED, SIGNED AND DATED.
 Copyright, Ltd 2022

Consultant

#	SHEET NAME	80% CD (10.06.2022)	BID ISSUE 12.20.22
---	------------	---------------------	--------------------

00 COVER SHEET			
0.0	COVER SHEET		
04 DEMO ARCHITECTURAL			
AD6.01	DEMO EXTERIOR ELEVATIONS		
AD6.02	DEMO EXTERIOR ELEVATIONS		
05 ARCHITECTURAL			
A2.01	FINISH SCHEDULE & WINDOW TYPES		
A6.01	EXTERIOR ELEVATIONS		
A6.02	EXTERIOR ELEVATIONS		

BASE BID AND BID ALTERNATES: (SEE AD6.01 / AD6.02 AND A6.01 / A6.02):	
BASE BID: ALL WORK AS DESCRIBED BETWEEN GRIDLINES B & D AND 2 & 4	
ALTERNATE ONE: ALL WORK AS DESCRIBED ON NORTH SIDE BETWEEN GRIDLINES 2 & 4	
ALTERNATE TWO: ALL WORK AS DESCRIBED ON SOUTH SIDE BETWEEN GRIDLINES 2 & 4 AND BACK BUILDING EAVES	

PLEASE RECYCLE

Project

Douglas County Social Services Ext. Improvements
2300 MEADOW LANE
GARDNERVILLE, NV
89410
 Job No: 22-47.00

Owner

DOUGLAS COUNTY

PWP #:PWP-DO-2023-135

BID ISSUE

12.20.2022



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TATE SNYDER KIMSEY ARCHITECTS AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECTS WRITTEN CONSENT. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SEALED, SIGNED AND DATED.

Copyright, Ltd 2022

Consultant

PLEASE RECYCLE

Project

**Douglas County
Social Services Ext.
Improvements**
2300 MEADOW LANE
GARDNERVILLE, NV 89410

Job No: 22-47.00

Owner

DOUGLAS COUNTY

BID ISSUE

REVISIONS		
REV	DATE	DESCRIPTION

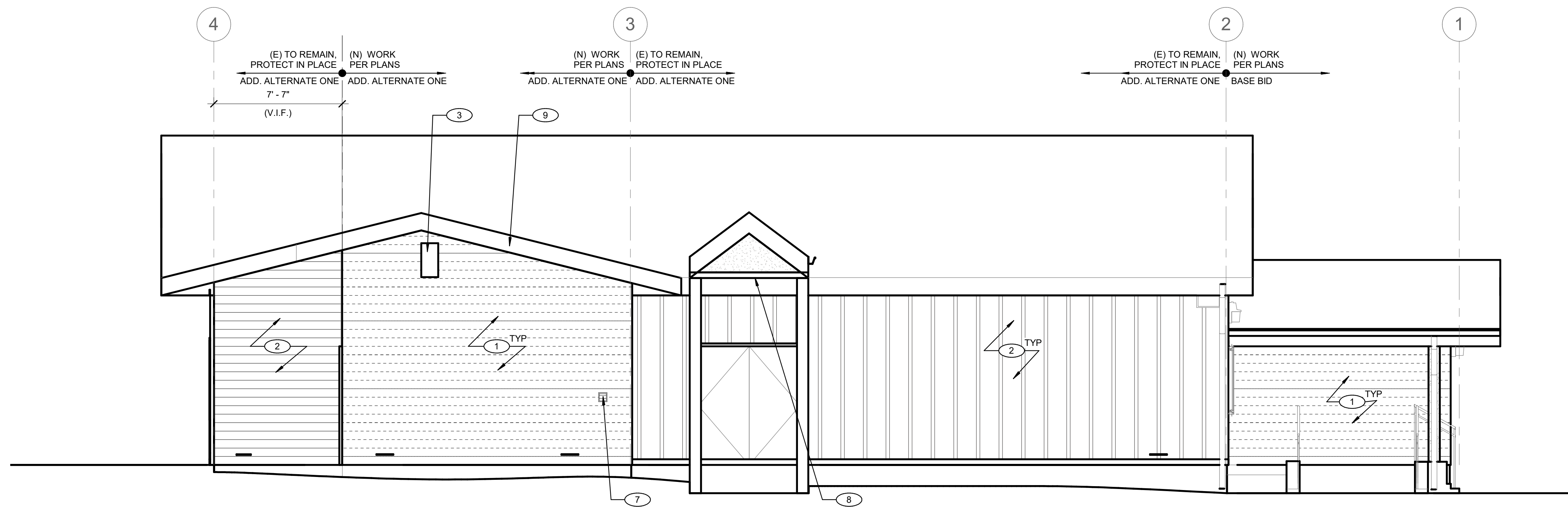
Sheet Title

**DEMO EXTERIOR
ELEVATIONS**

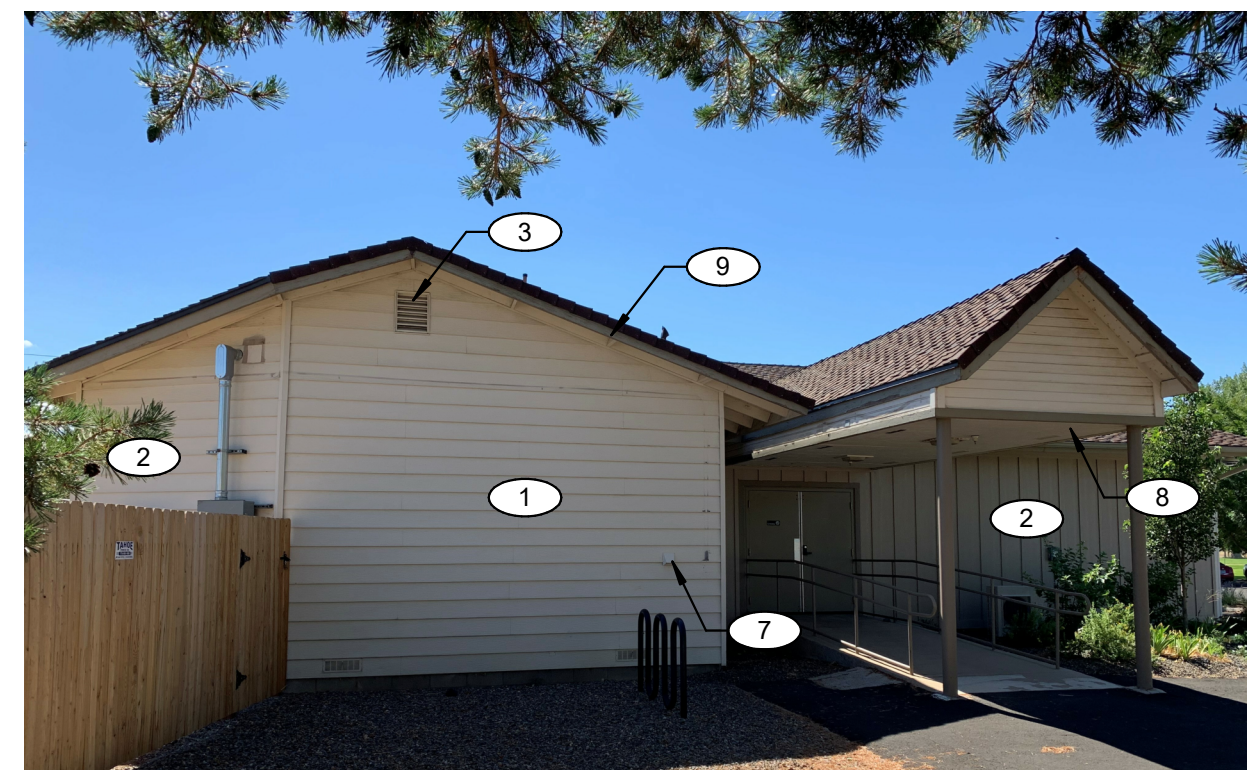
Date: 12.20.2022

Sheet No:

AD6.01



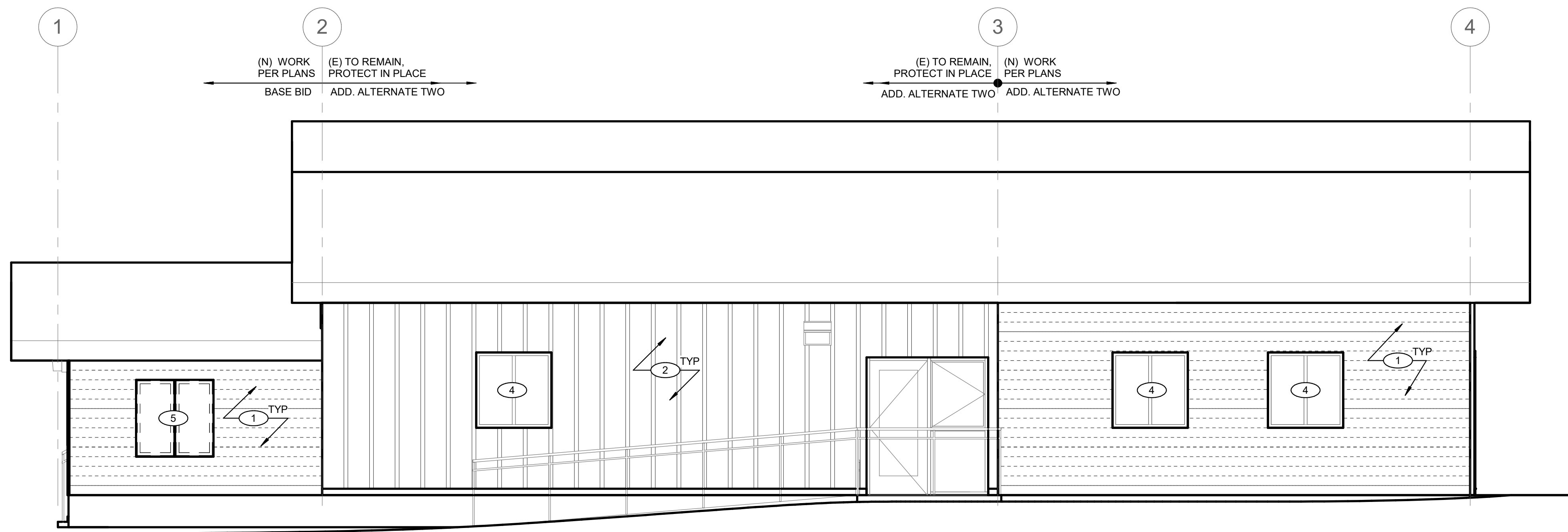
N DEMOLITION - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



N1 NORTH ELEVATION
SCALE: NTS

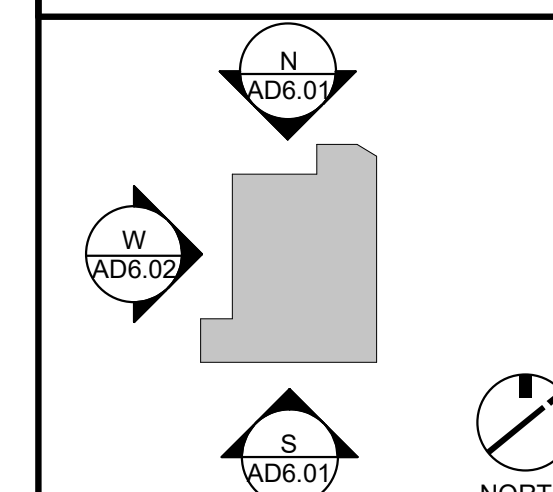


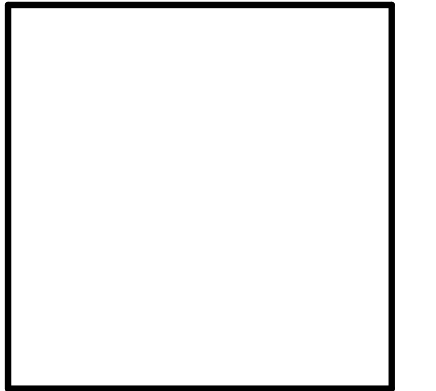
S1 SOUTH ELEVATION
SCALE: NTS



S DEMOLITION - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

KEYPLAN





THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TATE SNYDER KIMSEY ARCHITECTS AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECTS WRITTEN CONSENT. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SEALED, SIGNED AND DATED.

Copyright, Ltd 2022

Consultant

PLEASE RECYCLE

Project

**Douglas County
Social Services Ext.
Improvements**
2300 MEADOW LANE
GARDNERVILLE, NV 89410

Job No: 22-47.00

Owner

DOUGLAS COUNTY

BID ISSUE

REVISIONS		
REV	DATE	DESCRIPTION

Sheet Title

**DEMO EXTERIOR
ELEVATIONS**

Date: 12.20.2022

Sheet No:

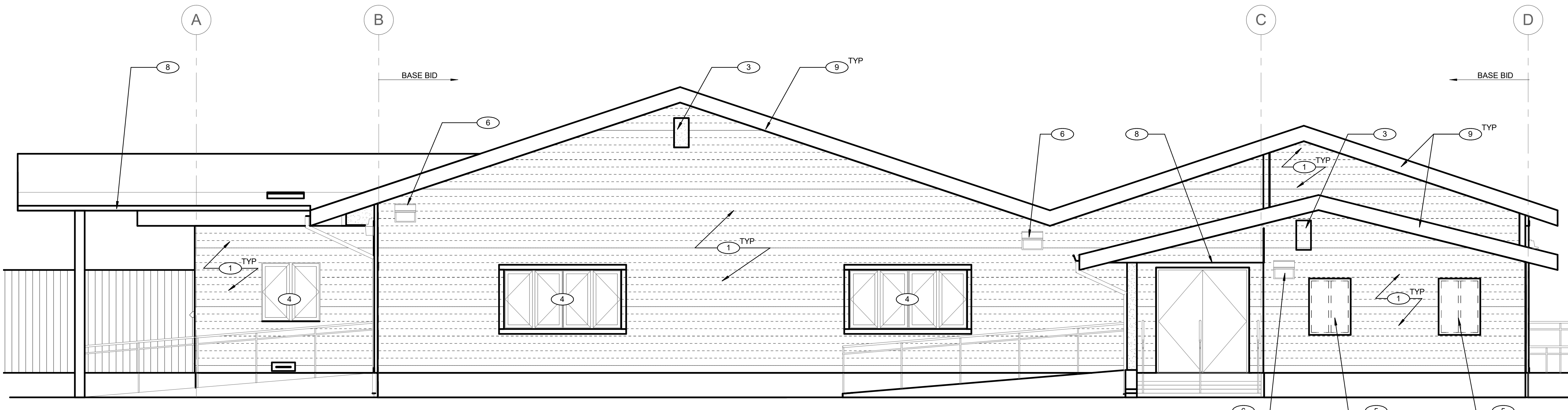
AD6.02

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- REFERENCE ALL DISCIPLINE DRAWINGS FOR COORDINATED NOTATIONS. CONTRACT DOCUMENTS CONSIST OF ALL DRAWINGS AND SPECIFICATIONS. CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY
- PROTECT ALL EXISTING FINISHES AND EQUIPMENT FROM DUST AND DEBRIS DURING CONSTRUCTION. PREPARE TO ACCEPT NEW WORK
- PATCH AND REPAIR WALLS WHERE NEEDED TO PROVIDE FLUSH AND LEVEL SURFACE TO ACCEPT ALL NEW WALLS, WORK AND FINISHES
- MASK OFF AREAS THAT ARE NOT TO RECEIVE ANY WORK TO PROTECT FROM CONSTRUCTION DUST

KEYNOTES

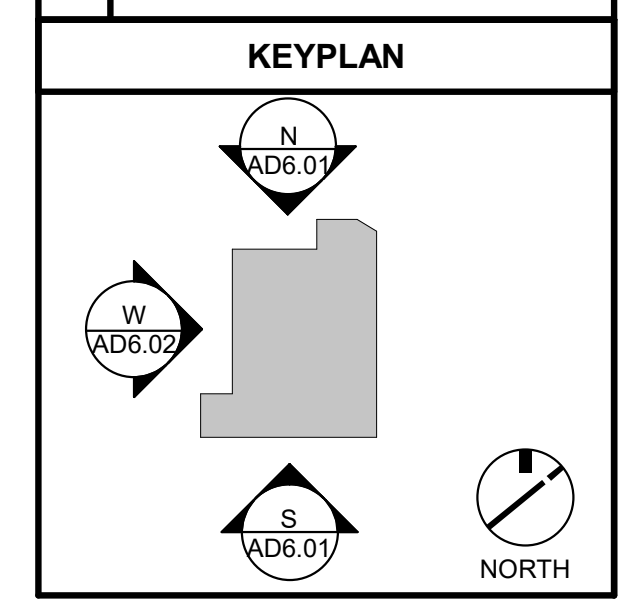
- REMOVE EXISTING SIDING. PREPARE FOR NEW EXTERIOR FINISH. PROTECT IN PLACE ANY WALL PENETRATIONS ON FACADE.
- EXISTING EXTERIOR FINISH TO REMAIN. PROTECT IN PLACE.
- EXISTING LOUVER TO REMAIN. PROTECT IN PLACE.
- EXISTING WINDOW AND TRIM TO REMAIN. PROTECT IN PLACE.
- EXISTING WINDOW TO BE REPLACED IN KIND. SEE WINDOW TYPES.
- EXISTING EXTERIOR LIGHT TO BE REMOVED AND REINSTALLED OVER (N) SIDING
- EXISTING VENT TO BE REMOVED. PATCH AND REPAIR AS REQUIRED.
- PREP EXISTING SOFFIT TO RECEIVE NEW PAINT. PROTECT IN PLACE ANY SOFFIT PENETRATIONS AND VENTS.
- EXISTING FASCIA AT ROOF EAVE OR RAKE. PREP TO RECEIVE NEW WORK PER EXTERIOR ELEVATIONS



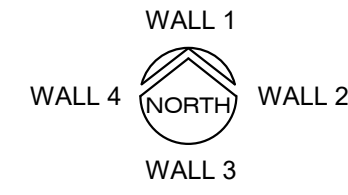
W DEMOLITION - WEST ELEVATION
SCALE: 1/4" = 1'-0"



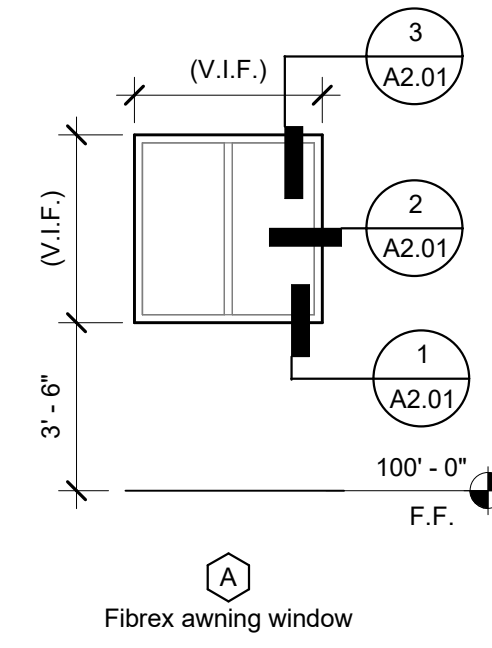
W1 WEST ELEVATION
SCALE: 1/2" = 1'-0"



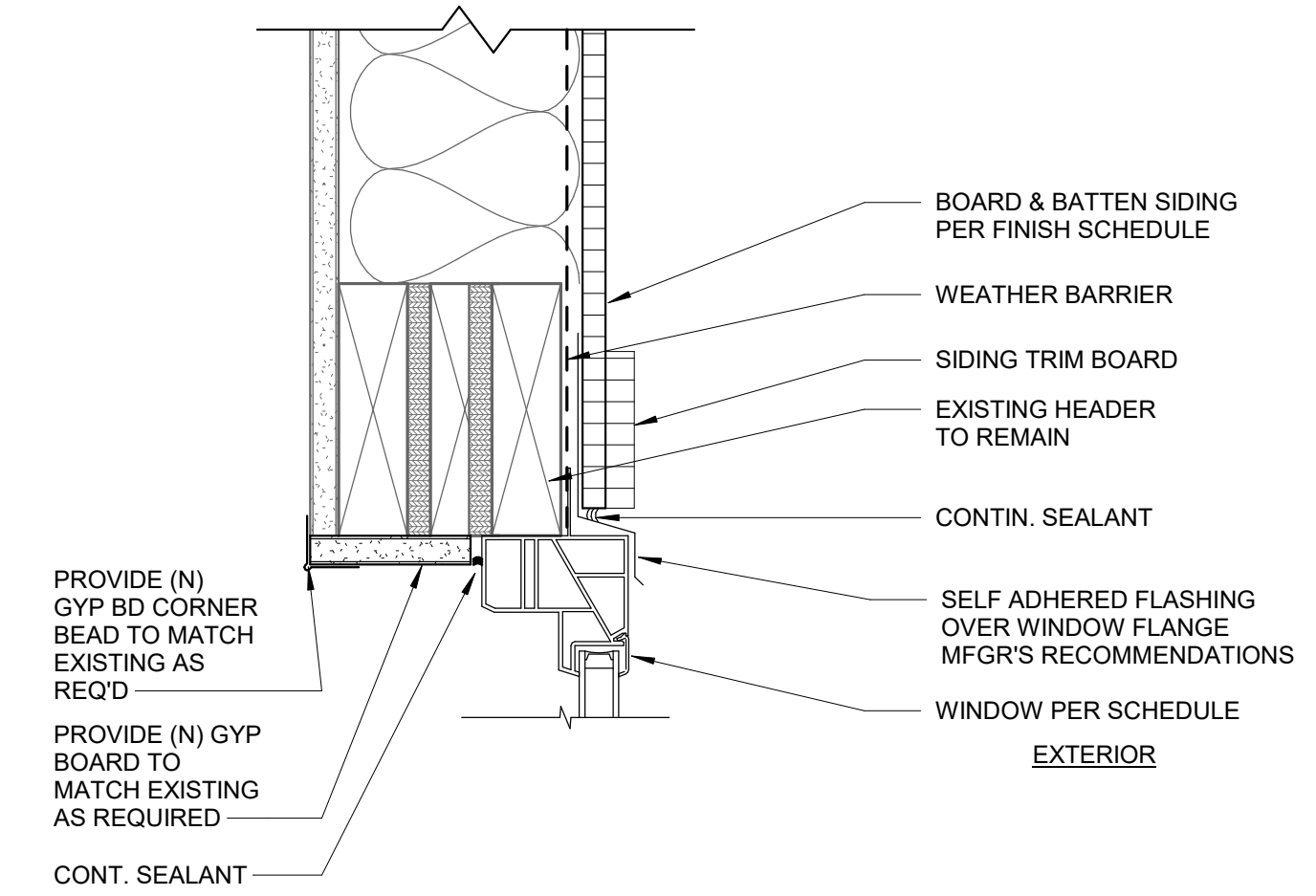
MATERIAL SCHEDULE					
KEY	DESCRIPTION	MANUFACTURER (BASIS OF DESIGN)	MODEL NUMBER	COLOR/FINISH	REMARKS:
EXTERIOR SIDING					
ES-1	ALUMINUM LAP SIDING	EXISTING	RUNNING BOND WITH ALTERNATING COURSES OF 8"x8"x16" AND 4"x8"x16" BLOCK	PC - 3	POWER WASH AND CLEAN EXISTING SIDING PRIOR TO FINAL FINAL COMPLETION
ES-2	BOARD AND BATTEN SIDING	LP BUILDING SOLUTIONS LP SMARTSIDE	190 SERIES CEDAR TEXTURE PANEL-NO GROOVE PANEL WITH 440 SERIES CEDAR TEXTURE TRIM X 2.5"	PC - 2	SEE WINDOW AND EXTERIOR ELEVATIONS FOR SPECIAL DETAILS
ES-3	TRIM AT EAVES	LP BUILDING SOLUTIONS LP SMARTSIDE	7/16 THICK	PC - 2	AT ALL EAVES
W-1	NEW WINDOWS	ANDERSEN WINDOWS	SERIES 100 COMPOSITE / SLIDING	MATCH EXISTING TAUPE COLOR	GLAZING TO MATCH EXISTING



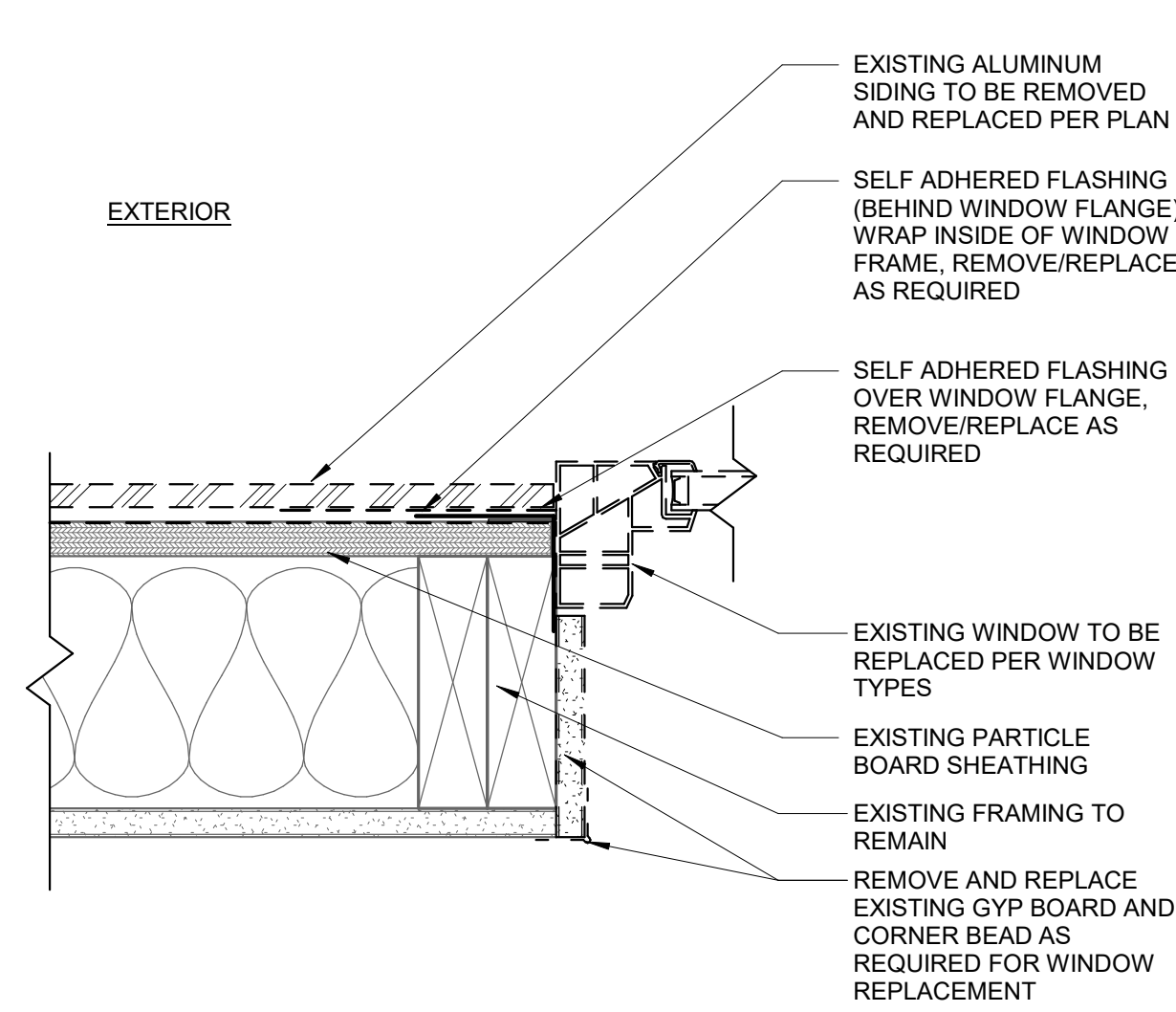
PAINT COLOR SCHEDULE			
KEY	DESCRIPTION	COLOR	LOCATION
PC-2	TAUPE	SW7038 TONY TAUPE, FIELD; SW7039 VIRTUAL TAUPE WINDOW AND DOOR TRIM	NEW EXTERIOR BOARD AND BATTEN SIDING,SATIN FINISH
PC-3	EXISTING SIDING	EXISTING, POWER WASH EXISTING ALUMINUM SIDING	EXISTING EXTERIOR ALUMINUM SIDING



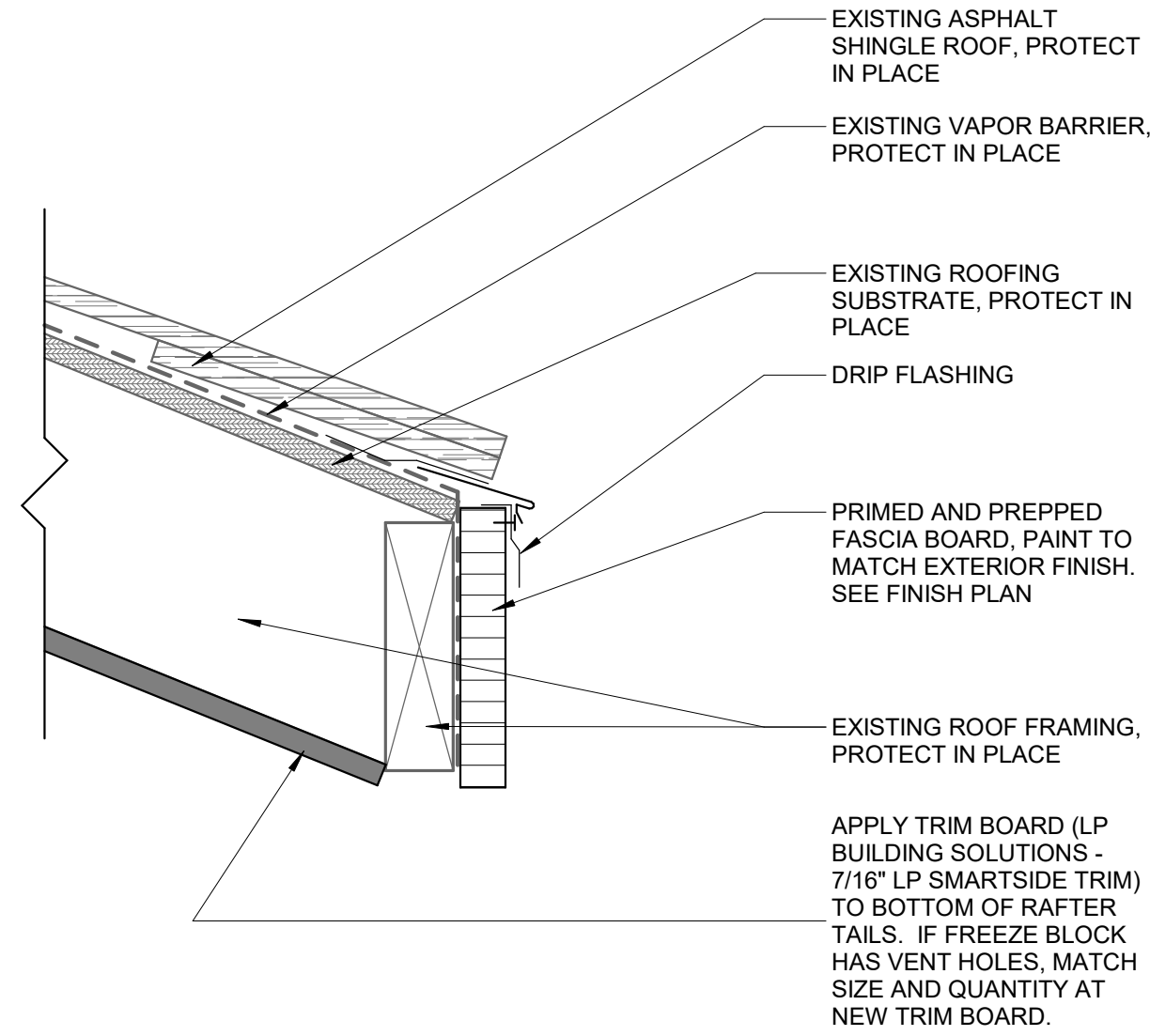
4 WINDOW TYPE A
SCALE: 1/4" = 1'-0"



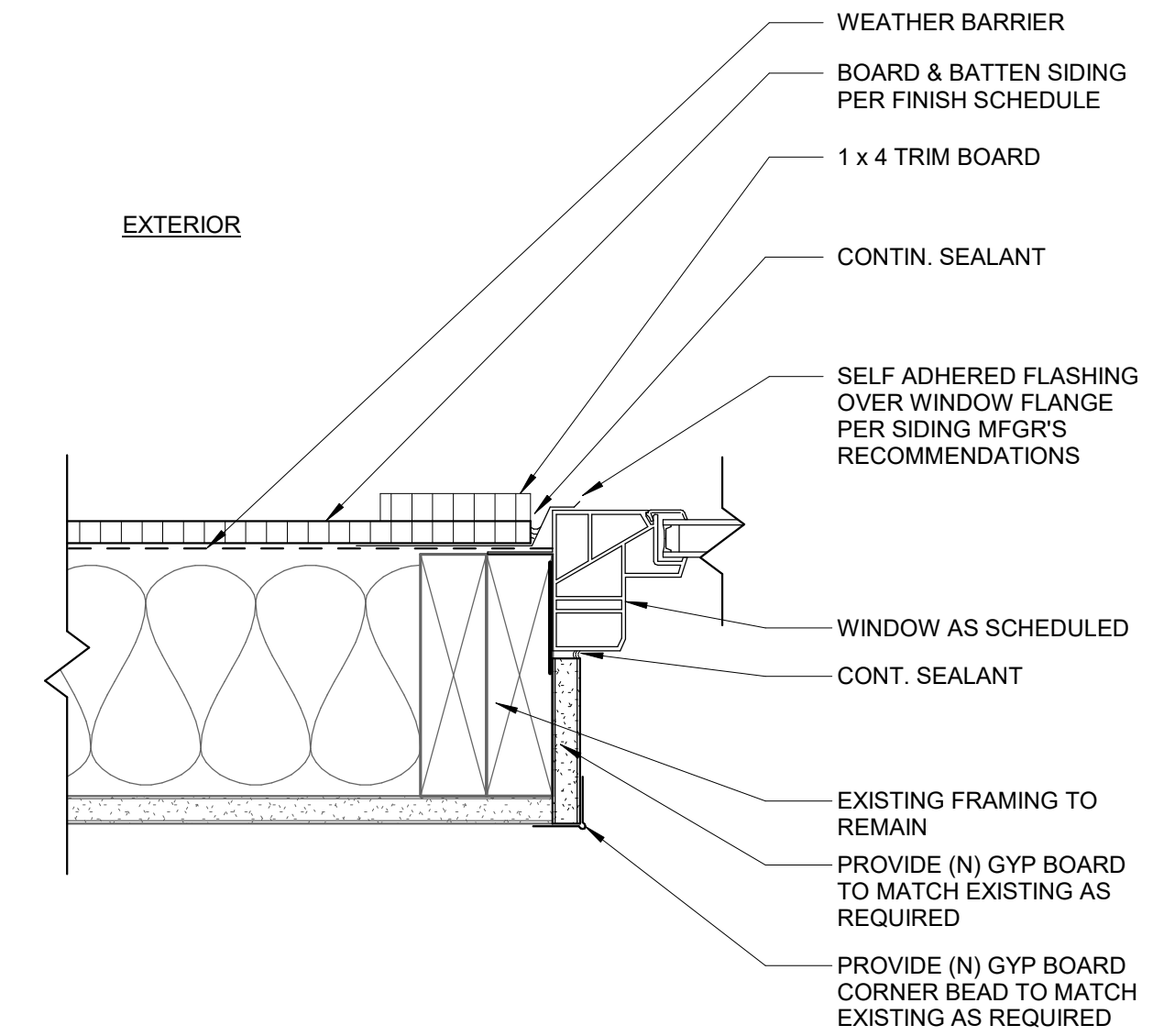
3 WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



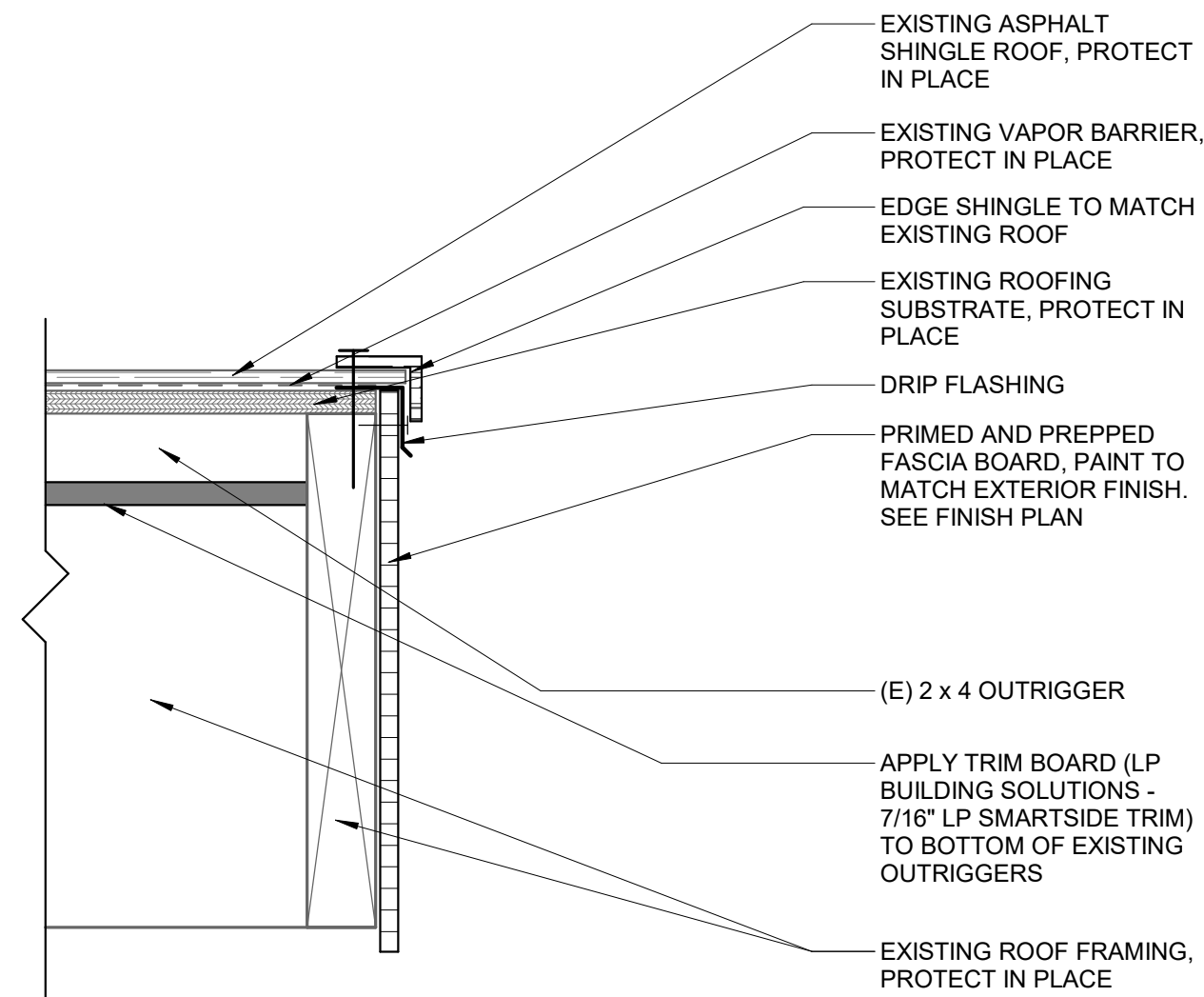
7 DEMO JAMB DETAIL (HEAD/SILL SIM.)
SCALE: 3" = 1'-0"



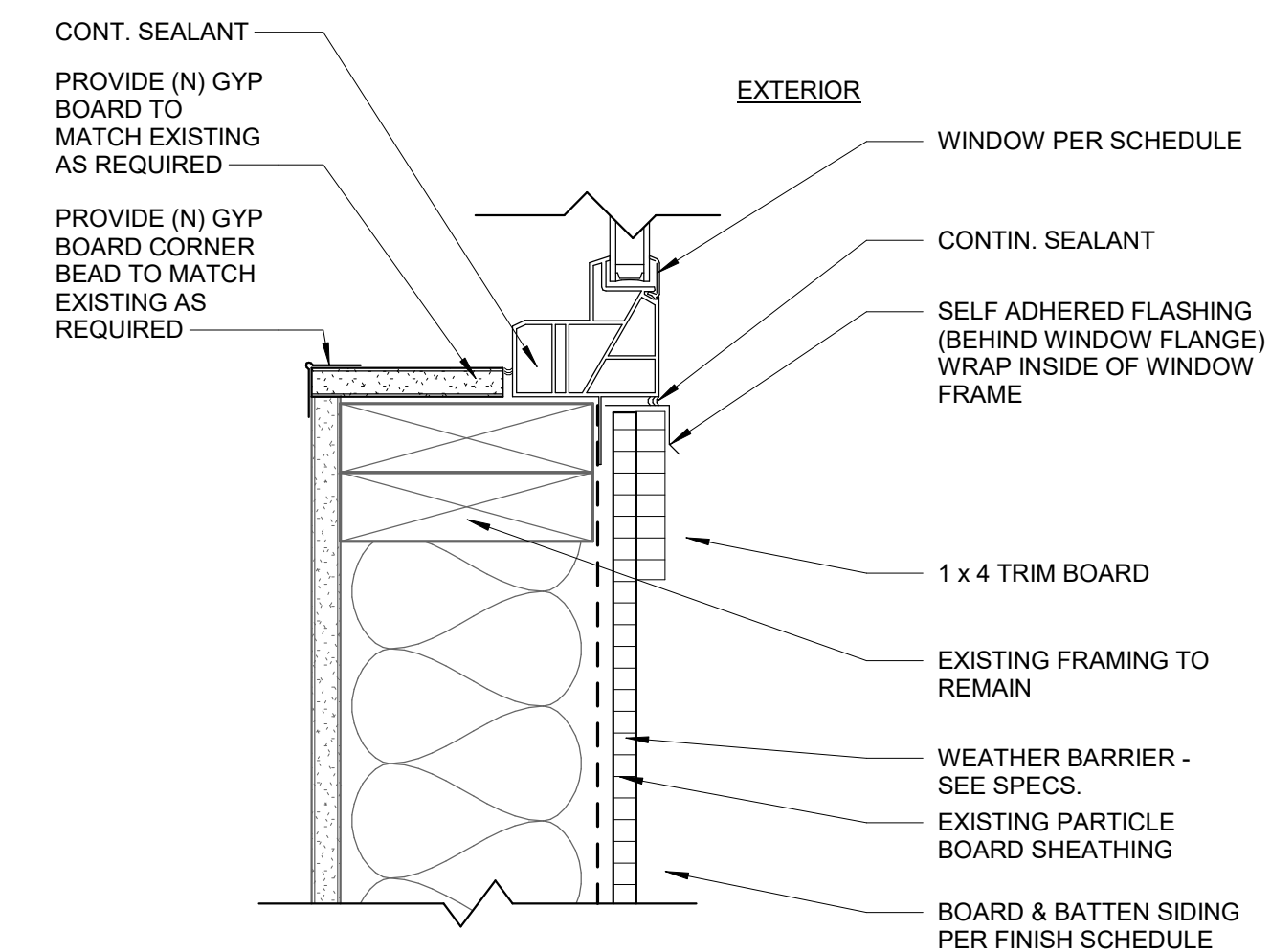
5 FASCIA AT EAVE
SCALE: 3" = 1'-0"



2 WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



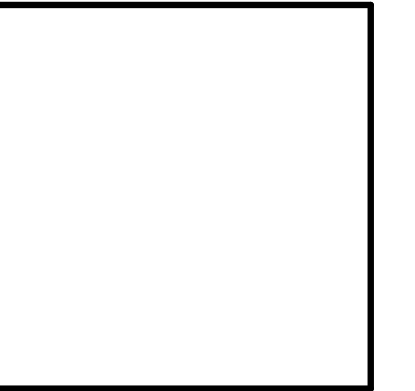
6 FASCIA AT RAKE
SCALE: 3" = 1'-0"



1 WINDOW SILL DETAIL
SCALE: 3" = 1'-0"

tsk

225 South Arlington Avenue
Reno NV, 89501
phone: 775.857.2949
fax: 775.857.2403
www.tska.com



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TATE SNYDER KIMSEY ARCHITECTS AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECTS WRITTEN CONSENT. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SEALED, SIGNED AND DATED.

Copyright, Ltd 2022

Consultant

PLEASE RECYCLE

Project

**Douglas County
Social Services Ext.
Improvements**
2300 MEADOW LANE
GARDNERVILLE, NV 89410

Job No: 22-47.00

Owner

DOUGLAS COUNTY

BID ISSUE

REVISIONS		
REV	DATE	DESCRIPTION

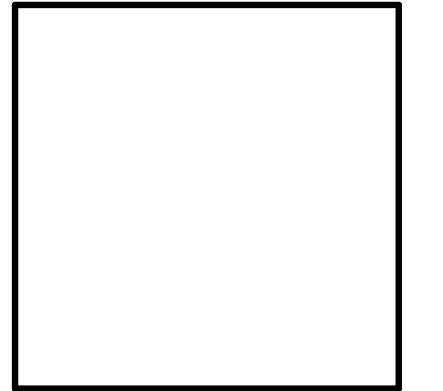
Sheet Title

**FINISH SCHEDULE &
WINDOW TYPES**

Date: 12.20.2022

Sheet No:

A2.01



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TATE SNYDER KIMSEY ARCHITECTS AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECTS WRITTEN CONSENT. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SEALED, SIGNED AND DATED.

Copyright, Ltd 2022

Consultant

PLEASE RECYCLE

Project

**Douglas County
Social Services Ext.
Improvements**
2300 MEADOW LANE
GARDNERVILLE, NV 89410

Job No: 22-47.00

Owner

DOUGLAS COUNTY

BID ISSUE

REVISIONS		
REV	DATE	DESCRIPTION

Sheet Title

**EXTERIOR
ELEVATIONS**

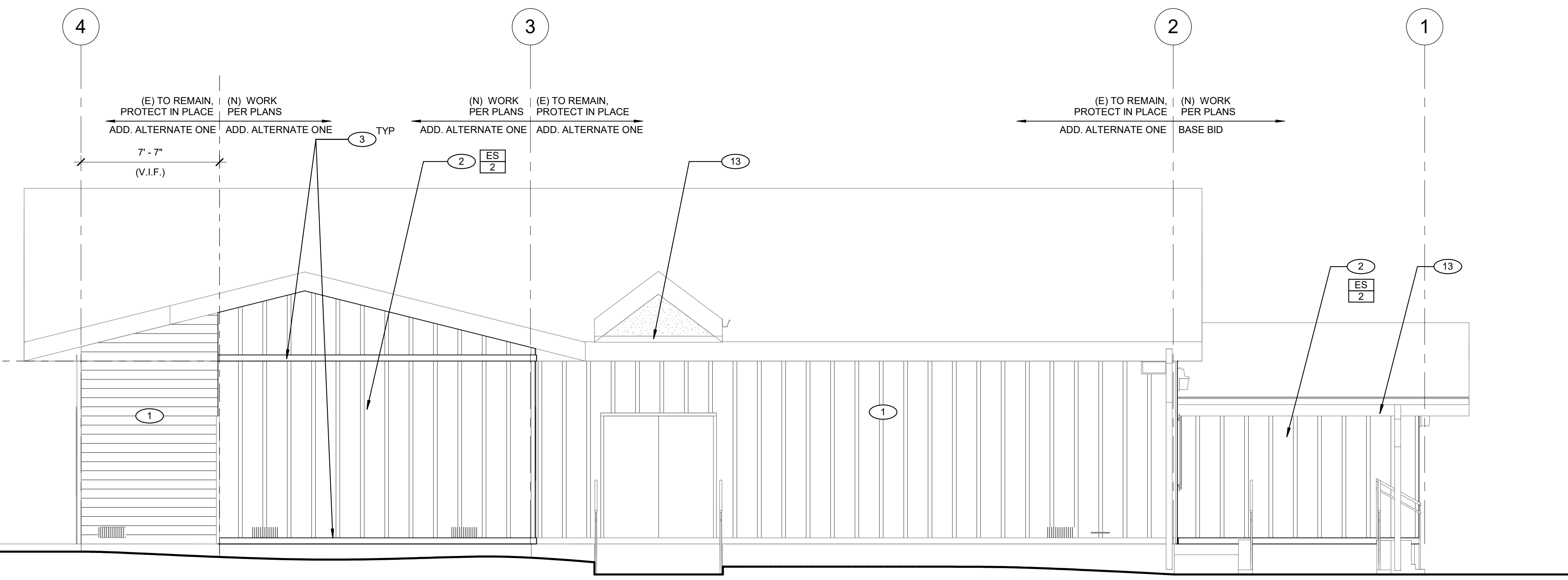
Date: 12.20.2022

Sheet No:

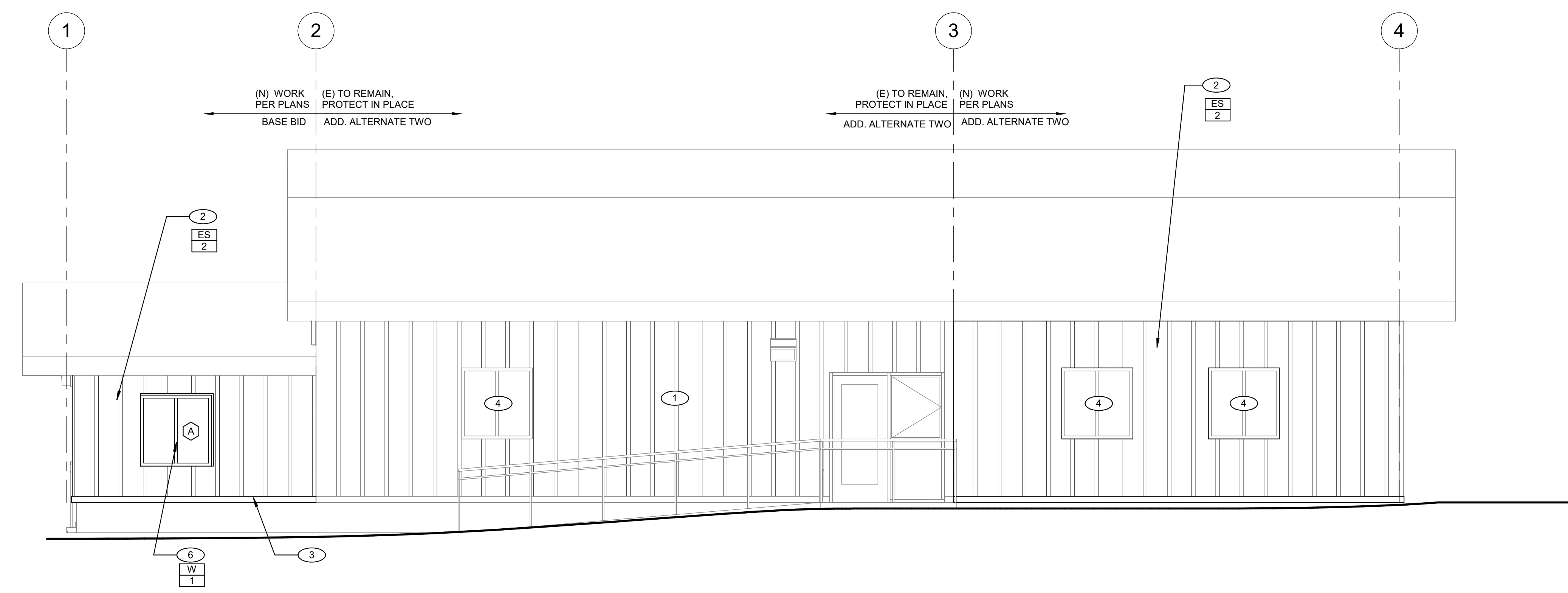
A6.01

GENERAL NOTES	
1	REFERENCE ALL DISCIPLINE DRAWINGS FOR COORDINATED NOTATIONS. CONTRACT DOCUMENTS CONSIST OF ALL DRAWINGS AND SPECIFICATIONS. CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
2	PROTECT ALL EXISTING FINISHES AND EQUIPMENT FROM DUST AND DEBRIS DURING CONSTRUCTION. PREPARE TO ACCEPT NEW WORK.
3	PATCH AND REPAIR WALLS WHERE NEEDED TO PROVIDE FLUSH AND LEVEL SURFACE TO ACCEPT NEW WALLS, NEW WORK AND NEW FINISHES.
4	ALL DIMENSIONS ARE TO THE FACE OF CONCRETE, CMU, AND FACE OF STUDS (NEW WALLS) UNLESS NOTED OTHERWISE.
5	EXTERIOR CONCRETE WALKWAYS - SEE CIVIL DRAWINGS FOR NEW WORK. PROTECT ALL EXISTING WALKS THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
6	DIMENSION OF OPENING IN FRAMED WALLS ARE TO THE CENTER LINE OF DOORS AND WINDOWS. CONTRACTOR IS TO REVIEW DOOR AND WINDOW SCHEDULES TO LOCATE ROUGH OPENING FRAMING.
7	IF CONTRACTOR NOTICES NON-CODE COMPLIANT DESIGN ERRORS IN THE DRAWINGS THE CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

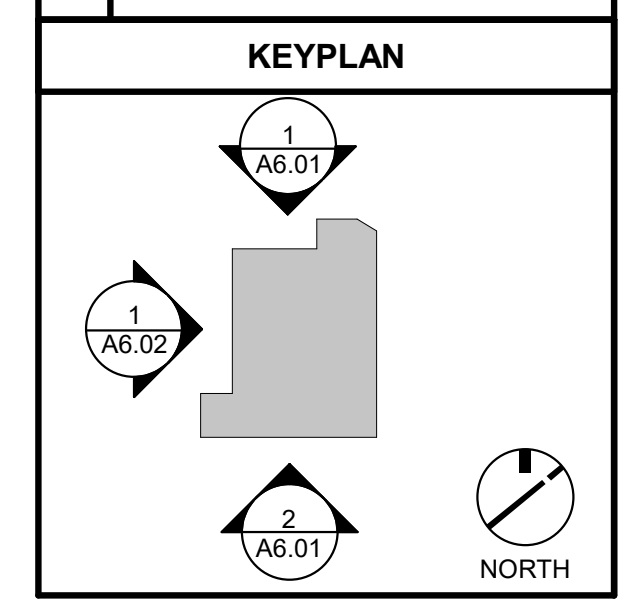
KEYNOTES	
1	EXISTING EXTERIOR FINISH. REPAIR ANY DAMAGE THAT OCCURED DURING CONSTRUCTION AND POWER WASH EXTERIOR OF BUILDING PRIOR TO FINAL COMPLETION.
2	NEW BOARD AND BATTEN SIDING. SEE FINISH SCHEDULE.
3	LP 440 SERIES CEDAR TEXTURE TRIM X 5.5 AT HORIZONTAL JOINTS TOP AND BOTTOM OF PANELS AND ALONG SOFFIT CONDITIONS.
4	EXISTING WINDOW. REPAIR ANY DAMAGE THAT OCCURED DURING CONSTRUCTION AND CLEAN PRIOR TO FINAL COMPLETION.
6	NEW WINDOW. SEE WINDOW SCHEDULE.
7	PAINT EXISTING SOFFIT PC-2 PER FINISH SCHEDULE. PROTECT IN PLACE AND CLEAN ANY SOFFIT PENETRATIONS PRIOR TO COMPLETION. DO NOT OBSTRUCT SOFFIT VENTS, TYP. SEE PHOTO AT 4/A6.02.
9	ELECTRICAL TO BE DISCONNECTED AND REMOUNTED AFTER INSTALLATION OF NEW SIDING.
10	EXISTING FASCIA TO BE REMOVED AND REPLACED PER DETAILS 586/A2.01.
11	PLANE OR REPLACE (E) FASCIA TO MATCH ADJACENT. SEE 3/A6.02.
12	SCRAPE AND PREPARE (E) FASCIA TO BE RE-PAINTED.
13	PAINT EXISTING SOFFIT PC-2 PER FINISH SCHEDULE. PROTECT IN PLACE AND CLEAN ANY SOFFIT PENETRATIONS PRIOR TO COMPLETION. DO NOT OBSTRUCT SOFFIT VENTS, TYP. SEE PHOTO AT 5/A6.02.



1 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"





7 PARTIAL SOUTHEAST ELEVATION
SCALE: NTS



6 PARTIAL FRONT ELEVATION
SCALE: NTS



5 NORTH ENTRY SOFFIT
SCALE: NTS



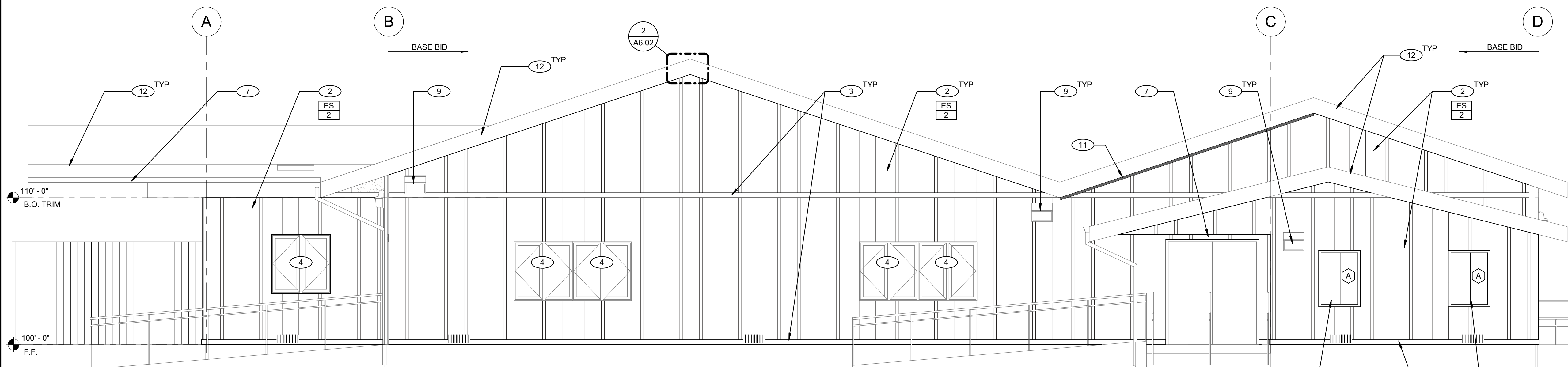
4 ENTRY SOFFIT
SCALE: NTS



3 (E) FASCIA PLANING
SCALE: NTS



2 (E) FASCIA FASTENING
SCALE: NTS



1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- 1 REFERENCE ALL DISCIPLINE DRAWINGS FOR COORDINATED NOTATIONS. CONTRACT DOCUMENTS CONSIST OF ALL DRAWINGS AND SPECIFICATIONS. CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- 2 PROTECT ALL EXISTING FINISHES AND EQUIPMENT FROM DUST AND DEBRIS DURING CONSTRUCTION. PREPARE TO ACCEPT NEW WORK
- 3 PATCH AND REPAIR WALLS WHERE NEEDED TO PROVIDE FLUSH AND LEVEL SURFACE TO ACCEPT NEW WALLS, NEW WORK AND NEW FINISHES
- 4 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE, CMU, AND FACE OF STUDS (NEW WALLS) UNLESS NOTED OTHERWISE
- 5 EXTERIOR CONCRETE WALKWAYS - SEE CIVIL DRAWINGS FOR NEW WORK. PROTECT ALL EXISTING WALKS THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- 6 DIMENSION OF OPENING IN FRAMED WALLS ARE TO THE CENTER LINE OF DOORS AND WINDOWS. CONTRACTOR IS TO REVIEW DOOR AND WINDOW SCHEDULES TO LOCATE ROUGH OPENING FRAMING.
- 7 IF CONTRACTOR NOTICES NON-CODE COMPLIANT DESIGN ERRORS IN THE DRAWINGS THE CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

KEYNOTES

- 1 EXISTING EXTERIOR FINISH, REPAIR ANY DAMAGE THAT OCCURED DURING CONSTRUCTION AND POWER WASH EXTERIOR OF BUILDING PRIOR TO FINAL COMPLETION.
- 2 NEW BOARD AND BATTEN SIDING, SEE FINISH SCHEDULE
- 3 LP 440 SERIES CEDAR TEXTURE TRIM X 5.5 AT HORIZONTAL JOINTS TOP AND BOTTOM OF PANELS AND ALONG SOFFIT CONDITIONS
- 4 EXISTING WINDOW, REPAIR ANY DAMAGE THAT OCCURED DURING CONSTRUCTION AND CLEAN PRIOR TO FINAL COMPLETION.
- 6 NEW WINDOW, SEE WINDOW SCHEDULE
- 7 PAINT EXISTING SOFFIT PC-2 PER FINISH SCHEDULE. PROTECT IN PLACE AND CLEAN ANY SOFFIT PENETRATIONS PRIOR TO COMPLETION. DO NOT OBSTRUCT SOFFIT VENTS, TYP. SEE PHOTO AT 4/A6.02
- 9 ELECTRICAL TO BE DISCONNECTED AND REMOUNTED AFTER INSTALLATION OF NEW SIDING
- 10 EXISTING FASCIA TO BE REMOVED AND RE-PLACED PER DETAILS S8/A6.01
- 11 PLANE OR REPLACE (E) FASCIA TO MATCH ADJACENT. SEE 3/A6.02
- 12 SCRAPE AND PREPARE (E) FASCIA TO BE RE-PAINTED
- 13 PAINT EXISTING SOFFIT PC-2 PER FINISH SCHEDULE. PROTECT IN PLACE AND CLEAN ANY SOFFIT PENETRATIONS PRIOR TO COMPLETION. DO NOT OBSTRUCT SOFFIT VENTS, TYP. SEE PHOTO AT 5/A6.02

KEYPLAN

REVISIONS

REV	DATE	DESCRIPTION

Sheet Title
EXTERIOR ELEVATIONS

Date: 12.20.2022
Sheet No:



225 South Arlington Avenue
Reno NV, 89501
phone: 775.857.2949
fax: 775.857.2403
www.tska.com



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TATE SNYDER KIMSEY ARCHITECTS AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECTS WRITTEN CONSENT. AS INSTRUMENTS OF SERVICE, THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SEALED, SIGNED AND DATED.

Copyright, Ltd 2022

Consultant

PLEASE RECYCLE

Project
**Douglas County
Social Services Ext.
Improvements**
2300 MEADOW LANE
GARDNERVILLE, NV 89410

Job No: 22-47.00

Owner
DOUGLAS COUNTY

BID ISSUE

Sheet Title
EXTERIOR ELEVATIONS

Date: 12.20.2022

Sheet No:

A6.02